

COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
BUILDING AND SAFETY / LAND DEVELOPMENT

CENTRAL OFFICE
900 FREMONT
ALHAMBRA CA 91803
PHONE: (818) 458-3173 EXT: # 9900

BUILDING PERMIT
ALTERATION/REPAIR
BL 9900 9908190002

LEGAL ID: ON FILE		NO. OF STORIES I		CONST TYPE I		BUILDING ADDRESS: 631 SECOND ST W LOSA CA NEAREST CROSS STREET: 2ND STREET THOMAS PAGE: GRID: LOCALITY: LOS ANGELES	
ASSESSOR INFORMATION NUMBER:		SQ. FT STRUCTURE: 25835		USE ZONE: X		ISSUED ON: 11/15/99 PROCESSED BY: RD EXPIRES ON: 05/13/00	
TENANT: CALIFORNIA INSTITUTE OF THE ARTS		EXIST BLDG USE: ASSEM EXIST OCC GRP:		VALUATION: 9,815,000		FINAL DATE: 1/31/01 FINAL BY: <i>wasley</i> CODE:	
OWNER: COUNTY OF LOS ANGELES CAO 707 WILSHIRE BL., LOS ANGELES, CA		BLDG. NOW ON LOT:		FEE DESCRIPTION:		DESCRIPTION OF WORK: PARTIAL DEMOLITION & RE-CONSTRUCTION OF THE EXISTING WALT DISNEY CONCERT HALL GARAGE TO ACCOMMODATE CAL ARTS THEATER. *	
APPLICANT: SWANSON		FEE DESCRIPTION:		QUANTITY: UOM:		SPECIAL CONDITIONS: no final requested	
CONTRACTOR: M.A. MORTENSON COMPANIES, INC. 700 MEADOW LANE NORTH MINNEAPOLIS, MN 55422		FEE DESCRIPTION:		QUANTITY: UOM:		APPROVALS	
ARCHITECT OR ENGINEER: FRANK O. GEHRY AND ASSOCIATES, INC. 1520-B CLOVERFIELD BLVD., SANTA MONICA, CA 90404		FEE DESCRIPTION:		QUANTITY: UOM:		LOCATION AND SETBACKS	
MAP NO: SEWER MAP BOOK: X PAGE: 3 FIRE ZONE: 02 CMP: 22		FEE DESCRIPTION:		QUANTITY: UOM:		SOILS ENGINEER APPROVAL	
NO. OF FAMILIES: DWELLING UNITS: APT/COND: STAT CLASS: NO NO 22		FEE DESCRIPTION:		QUANTITY: UOM:		FOUNDATION/TRENCH FORMS	
AIR QUALITY: YES		FEE DESCRIPTION:		QUANTITY: UOM:		SLAB/UNDER FLOOR	
REQUIRED SET BACK FRONT PL-SIDE PL:		FEE DESCRIPTION:		QUANTITY: UOM:		RAISED FLOOR FRAMING	
HAZARDOUS MATERIALS NO		FEE DESCRIPTION:		QUANTITY: UOM:		UNDER FLOOR INSULATION	
TOTAL SETBACK FROM EXIST WIDTH:		FEE DESCRIPTION:		QUANTITY: UOM:		FLOOR SHEATHING	
Hwy: TOTAL SETBACK FROM EXIST WIDTH:		FEE DESCRIPTION:		QUANTITY: UOM:		ROOF SHEATHING	
TOTAL SETBACK FROM EXIST WIDTH:		FEE DESCRIPTION:		QUANTITY: UOM:		SHEAR PANELS	
TOTAL SETBACK FROM EXIST WIDTH:		FEE DESCRIPTION:		QUANTITY: UOM:		FRAME INSPECTION	
TOTAL SETBACK FROM EXIST WIDTH:		FEE DESCRIPTION:		QUANTITY: UOM:		FIRE SPRINKLER HANGERS	
TOTAL SETBACK FROM EXIST WIDTH:		FEE DESCRIPTION:		QUANTITY: UOM:		INSULATION/WEATHER STRIP	
TOTAL SETBACK FROM EXIST WIDTH:		FEE DESCRIPTION:		QUANTITY: UOM:		INTERIOR LATH/DRYWALL	
TOTAL SETBACK FROM EXIST WIDTH:		FEE DESCRIPTION:		QUANTITY: UOM:		EXTERIOR LATH	
TOTAL SETBACK FROM EXIST WIDTH:		FEE DESCRIPTION:		QUANTITY: UOM:		RATED FLOOR/CEIL ASSEM.	
TOTAL SETBACK FROM EXIST WIDTH:		FEE DESCRIPTION:		QUANTITY: UOM:		RATED WALL ASSEMBLIES	
TOTAL SETBACK FROM EXIST WIDTH:		FEE DESCRIPTION:		QUANTITY: UOM:		RATED SHAFTS/OPENINGS	
TOTAL SETBACK FROM EXIST WIDTH:		FEE DESCRIPTION:		QUANTITY: UOM:		T-BAR CEILINGS	
TOTAL SETBACK FROM EXIST WIDTH:		FEE DESCRIPTION:		QUANTITY: UOM:		LOT DRAINAGE	

This permit is issued upon the condition that CalArts will deliver to Los Angeles County Department of Public Works the proposed changes to the plans and specifications for the CalArts Theater project, as identified on Exhibit E, for plan check and review within 30 days of the permit issuance date shown hereon.

* ADDITIONAL DATA ON FILE

REPORT ID: DPR261 ROUTE TO: REGINA

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class B Lic. No. 411701
W. H. Gled 11/15/99
Contractor's Signature Date

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I am exempt under Sec. _____, B & P.C. for this reason:

[Electrical, Plumbing & Sewer Permits Only]

☐ I, as owner of the property, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.).

[All Other Permits]

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.).

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.).

Owner Signature

Date

WORKER'S COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

☐ I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:

Carrier St. Paul Fire & Marine Inc.
Policy Number WVK 6300547

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California, and agree that if I should become subject to the worker's compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

W. H. Gled 11/15/99
Applicant Signature Date

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

LOBBYIST ORDINANCE CERTIFICATION

[Complete this section for permits in unincorporated Los Angeles County only]

This is to certify that I, as permit applicant, am familiar with the requirements of Los Angeles County Code Chapter 2.160 et seq., (relating to the Los Angeles County Lobbyist Ordinance) and that all persons acting on behalf of myself complied and will continue to comply therewith through the application process.

Applicant (Print Name) _____ Applicant Signature _____

Company Name (if employed by an entity/agency) _____ Date _____

JOB ADDRESS

631 W. 2nd St.

LOCALITY

Los Angeles 90012

HAZARDOUS MATERIAL DECLARATION

Will the applicant or future building occupant handle a hazardous material or a mixture containing a hazardous material equal to or greater than the amount specified on the hazardous materials information guide?

Yes ☐ No ☒

Will the intended use of the building by the applicant or future building occupant require a permit for construction or modification from the South Coast Air Quality Management District (SCAQMD)? See permitting checklist for guidelines.

Yes ☐ No ☐

I have read the hazardous materials information guide and the SCAQMD permitting checklist, I understand my requirements under the Los Angeles County Code Title 2, Chapter 220 Sections 220.100 through 220.140 concerning hazardous material reporting and for obtaining a permit from the SCAQMD.

ASBESTOS NOTIFICATION

☒ Notification letter sent to SCAQMD or EPA

☐ I declare that notification of asbestos removal is not applicable to addressed project.

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ.C.).

NA

Lender's Name _____

Lender's Address _____

W. H. Gled

I certify that I have read this application and state under the penalty of perjury that the above information is correct. I agree to comply with all City and County ordinances and State laws relating to building construction, and hereby authorize representatives of this County to enter upon the above-mentioned property for inspection purposes.

W. H. Gled 11/15/99
Applicant or Agent Signature Date



APPLICATION FOR BUILDING PERMIT

APPLICATION NO.: BL 9812240020 LOC: BS 99

PLEASE FILL OUT THE FOLLOWING INFORMATION

JOB ADDRESS: 111 S. Grand Ave. 631 W. 2nd Street UNIT NO.: _____

CITY/LOCALITY: Los Angeles CA CROSS-ST: 2nd Street Grand

ASSESSOR INFORMATION NO.: _____

TENANT: CALIFORNIA INSTITUTE OF THE ARTS (LAST NAME/BUSINESS NAME) (FIRST) (MI)

OWNER'S NAME: WALT DISNEY CONCERT HALL (LAST NAME/BUSINESS NAME) (FIRST) (MI)

ADDRESS: 707 Wilshire Blvd., Suite 1850 Los Angeles, CA 90017 (MI)

APPLICANT: CALIFORNIA INSTITUTE OF THE ARTS (LAST NAME/BUSINESS NAME) (FIRST) (MI)

ADDRESS: 24700 McBean Parkway Valencia, CA 91355-2397 (MI)

CONTRACTOR: M.A. Mortenson Co. (LAST NAME/BUSINESS NAME) (FIRST) (MI)

ADDRESS: 1524-G Cloverfield Blvd. Santa Monica, CA 90404 (MI)

ARCH/ENG: Frank O. Gehry & Associates, Inc. (LAST NAME/BUSINESS NAME) (FIRST) (MI)

ADDRESS: 1520-B Cloverfield Blvd. Santa Monica, CA 90404 (MI)

WORK DESCRIPTION: Partial Demolition & Re-Construction of the Existing Walt Disney Concert Hall Garage to Accomodate Cal Arts Theater.

VALUATION: \$ 9,815,000 BUILDINGS ON LOT: K

PROJECT SIZE: 25835 SQ.FT NO. OF STORIES: 2 CONSTRUCTION TYPES: One OCCUPANCY GROUPS: A3



COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
BUILDING AND SAFETY/
LAND DEVELOPMENT DIVISION

PLAN CHECK NO. B9812240020

DISTRICT NO. 99

TITLE 26, LOS ANGELES COUNTY CODE
PLAN CORRECTION SHEET

**REVIEW OF CD DRAWINGS FOR - DEMO & SHELL CONSTRUCTION
CAL ARTS THEATER (STRUCTURAL PLANS)**

Los Angeles

Locality

DISNEY CONCERT HALL 1

Owner

631 W. 2nd St.
111 S. GRAND, LOS ANGELES 90012

Mailing Address

City

(213) 486-7890

Tel. No.

John A. Martin & Associates

Architect or Engineer

(213) 483-6490

Tel. No.

YOUR APPLICATION FOR A PERMIT, TOGETHER WITH PLANS AND SPECIFICATIONS, HAS BEEN EXAMINED AND YOU ARE ADVISED THAT THE ISSUANCE OF A PERMIT IS WITHHELD FOR THE REASONS HEREINAFTER SET FORTH. THE APPROVAL OF PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE, OR OTHER COUNTY ORDINANCE OR LAW.

Use of Structure Auditorium/Gallery/Support	Type I	Group A-3	Story 2	Fire Zone 3
Valuation \$9,815,000	Area (Sq. Ft)	Valuation Per Sq Ft.	Remarks (Within Disney Parking Garage)	

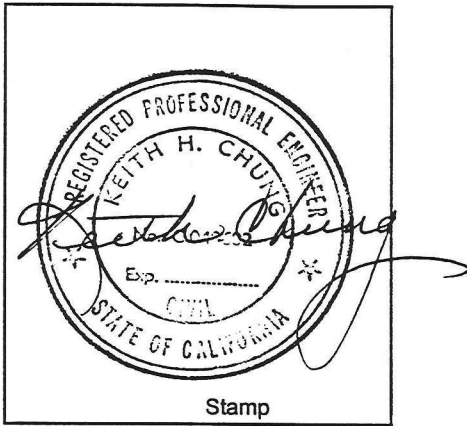
**Structural Corrections
Volume I**

1. New plate girders on grid lines D & E at level +16'-0" drawing S4-1.1 shall be clearly defined for their use. If these girders are part of this submittal provide calculations and structural details.
2. Will there be any ceiling mounted equipments or curtains at stage area? If so, include extra loads in calculations.
3. Design live load for stage area is 125^{psf} per Table 16-A of UBC. Please indicate the stage area and design the floor beams accordingly.
4. Theater seats are arranged normally on the sloping floor. There is no information on this matter in this submittal.
5. Define size of ceiling beams, CB-2 & CB-3 at elevation +16'. Structural calculations sheet CB2 shows different size of steel beam than structural framing plan on sheet S4-1.1.
6. Beams CB-4 and CB-5 are not referenced properly. Please cross reference all calculations for joists, beams to framing plans throughout.
7. Show type of metal deck for gallery walk area at levels -9'-3" drawing S4-1.2..
8. The gallery walk is supported by the steel tube hangers. Provide structural calculations and details for hangers, and show how this suspended structure is laterally stable.
9. Provide structural calculations for W18x40, W16x31 and W12x35 at gallery framing plan drawings S4-1.2.
10. Beam connection details at gallery framing plan shall be addressed. (See red marks on sheet S4-1.2.)
11. Provide structural calculations for the following beams at level -19'-0", drawing S4-1.3
W12x68, W14x22, W21x57, W16x31, W8x15, W21x122
12. Steel beam connection details to concrete columns are required. (See sheet S4-1.3 for locations.)
13. Provide frame elevation from platform at level -19'-0", drawing S4-1.3.
14. Provide stairway framing, bracing and details connecting levels -19' and -28'.

- 15. Provide structural calculations for the following beams W21x166, W21x182, W21x44, W21x57, W18x40 at level -28' -1¼", drawing S4-1.1
- 16. Show how the steel floor girders are connected to the existing posts at level -28'-1¼". (See sheet S4-1.1.)
- 17. For braced frames depicted on drawings S4-1.4 please check the bracing connections per requirements of UBC Section 2211.8.2.
- 18. The computer program manuals such as "RAMSBEAM", "RISA-3D" shall be submitted along with the plan package. (Manuals will be returned back to the design engineer later.)
- 19. Complete the special bearing connection detail 6/S4-1.6 by showing the following:
 - a. Plan view of the connection with dimensions.
 - b. Material specification for elastomeric pad.
 - c. Anchor bolt call-out.
 - d. Reinforcement in concrete pad.
 - e. Research Section's approval is required.
- 20. Specify the design strength of concrete for pad and corbel construction.
- 21. Calculations page CE 20 for the lateral load transfer system from the theater floor girders to the 12" concrete walls, have discrepancies with details indicated on drawing S4-1.6. Please verify or revise the calculations and details accordingly.

Keith Chung	2/4/99
Checked By	Date
Central	(626) 458-3173
Office	Phone No.
Recheck and Approved By	Date
Corrections as indicated will be complied with	
Signature of Owner or Applicant	

P:STEVE/DISNEY/KEITH





COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
BUILDING AND SAFETY/
LAND DEVELOPMENT DIVISION

PLAN CHECK NO. B9812240020

DISTRICT NO. 99

TITLE 26, LOS ANGELES COUNTY CODE
PLAN CORRECTION SHEET

**REVIEW OF CD DRAWINGS FOR - DEMO & SHELL CONSTRUCTION
CAL ARTS THEATER (STRUCTURAL PLANS)**

Los Angeles

Locality

DISNEY CONCERT HALL 1

Owner

631 W. 2nd St.
111 S. GRAND, LOS ANGELES 90012

Mailing Address

City

(213) 486-7890

Tel. No.

John A. Martin & Associates

Architect or Engineer

(213) 483-6490

Tel. No.

YOUR APPLICATION FOR A PERMIT, TOGETHER WITH PLANS AND SPECIFICATIONS, HAS BEEN EXAMINED AND YOU ARE ADVISED THAT THE ISSUANCE OF A PERMIT IS WITHHELD FOR THE REASONS HEREINAFTER SET FORTH. THE APPROVAL OF PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE, OR OTHER COUNTY ORDINANCE OR LAW.

Use of Structure Auditorium/Gallery/Support		Type I	Group A-3	Story 2	Fire Zone 3
Valuation \$9,815,000	Area (Sq. Ft)	Valuation Per Sq Ft.	Remarks (Within Disney Parking Garage)		

**Structural Corrections
Volume II & III**

- Each sheet of structural plans must bear the wet signature of the structural engineer.
- These are some discrepancies between the architectural and structural plans, such as:
 - Size of openings at exterior walls indicated in drawing AD3-1.2 versus SD4-1.2.
 - New 12" concrete shear walls indicated on 1/A6-6.2 and 2/A6-6.2 have vertical offset contrary to sections 1/SD3-2.1 and 2/SD3-2.1.
 - Demolition plans A2-2.24 and SD2-1.6 between grid lines 1.7 - 3 and A - B.
- Structural calculations for 0.00 level concrete deck opening and strengthening by 8" additional slab have not been submitted.
- Drawings SD2-1.2, SD2-1.3 refer to new 32x30 columns on grid lines 3-D & 3-E. If this is a drafting error, then revise the plans.
- Provide calculations for the structural adequacy of concrete slabs supporting concentrated loads from the CAL-ARTS Gallery posts on grid lines 3 thru 5 and between grids B & C as indicated on drawing S4-1.2.
- Provide user's manual for the "Post Tensioned Flat Plate Design", "PCACOL" & "ELAST2" programs.
- Punching shear stresses in the slab analysis at level -23 and at level -13 exceeds the allowable code values at some columns. Proposed column cap dimensions as indicated on 8/DS3-2.1 are not adequate in some instances. Furthermore, the adequacy of the existing shear heads reinforcing needs to be verified by the designer.
- Combination of details 5/SD5-1.1 and 8/DS3-2.1 pointed to the column at grid D-1.7 on drawing SD2-2.20 is not practical, verify.
- Type and size of the upturn beams around the CAL-ARTS theater shall be shown on floor framing plans drawings SD2-2.19, SD2-2.20 and DD2-2.24.
- Calculation page CH-20, tributary length of the span 3 in slab (run 23-5) analysis is incorrect, please revise.
- Calculation page CH9 and CH13, CGS of strands at span 4 are inputted incorrectly, please revise.
- Calculation page CH30, length of the span between grid lines J & H on computer run 10 and 11 is

not the same.

13. Calculation pages CH31 Live Load for span 1 is incorrect. Live load to be 100 psf.
14. Calculation page CH34, tension stress is more than allowable on span 3, please review & revise the design accordingly.
15. Calculation page CH47, the tributary length of span 3 in the slab (run 23-13) analysis is incorrect, please clarify. Additionally, joint 1 is not a wall support and joint 2 per drawing SD2-2.19 contains 36" square column contrary to 36" round column inputted, please verify and revise accordingly.
16. Calculation page CJ1, indicates column dimensions for frame at line D different from drawing SD2-2.24, clarify.
17. Calculation pages CJ23 & CJ27 at joint 4 requires column cap when drawing SD2-2.24 does not show any on that particular column. Additionally, tension stresses at span 4 is excessive, please review & revise the design accordingly.
18. Calculation page CJ29, tributary length of the frame at line C is incorrect, please review and revise the calculation.
19. Calculation page CJ33, column dimensions at joints 2 and 3 are incorrect, review & revise as needed.
20. Calculation page CJ37, live load at span 2 is incorrect. Additionally, column dimensions at joints 2 and 3 are incorrect. Please review & revise the design accordingly.
21. Calculation page CJ45 indicates 24"x30" edge beam, please depict it on drawing SD2-2.24.
22. Calculation page CJ48, shows 30" square column for joint 3 contrary to drawing SD2-2.24. Please revise the calculation.
23. Calculation page CJ51, 50 psf live load instead of 100 psf has been considered. Additionally, effect of the edge beam is neglected. Please review and revise the design accordingly.
24. Calculation page CJ58, lengths for spans 7 and 8 have been inputted incorrectly, please revise the calculation.
25. Calculation page CJ61 requires column cap at joint 2. Drawing SD2-2.24 does not show any, clarify.
26. Slab reinforcing is not shown on drawing SD2-2.24 between grids 1 & 3 and A & B, please verify.
27. Calculation pages CK10 & CK12, provide the reference for design loads used at "Buffer Support" area framing. Indicate on the plans pertaining information of the reference.
28. Provide a current soil report. Submit basement wall analysis indicated on calculation sheets CL1 & CL2.
29. New concrete walls around the CAL-ARTS theater shall comply with shear wall requirements of UBC 1921.6.
30. Calculation page CM1, tributary weight of the underground walls and effect of existing deck openings at levels -23 & -13 are not considered on diaphragm analysis. Revise the calculation to include these considerations.
31. Calculation pages CM18 thru CM21, define the forces used in calculation of the diaphragm.
32. Calculation pages CN1 thru CN6, submit computer output to justify depicted zero level deck and column loads.
33. In evaluation of the existing columns capacity, unbalanced moment of the concrete deck, torsional moments of the edge beams around CAL-ARTS theater opening and moments from the new corbels shall be considered in column capacity evaluation. Revise the calculations to include these items.

- 34. The engineer has assumed $f'_c = 6000\text{psi}$ concrete for columns above the level -23 contrary to the record drawings which indicates $f'_c = 5000\text{ psi}$. Revise calculations or justify that columns have attained to such a strength (6000 psi).
- 35. Calculations page CP2 thru CP77 some columns are up to ten percent overstressed. Revise the design to overcome such conditions.
- 36. Calculation page CP78 refers to $P_u = 800\text{ kip}$ load. Clarify how this load has been calculated. Is there any correlation with the table on sheet CN-1?
- 37. Calculation page CQ2, foundation capacity is based on column compression load only, columns moments and shears are neglected. Revise the calculation.
- 38. Columns around the CAL-ARTS openings and connected by 12" thick reinforced walls above level -33 shall be verified for boundary conditions per UBC 1921.6. Additionally, due to discontinuity of walls below level -33 columns shall comply with the requirements of UBC 1921.4.4.5.
- 39. Calculation page CQ18, does K (subgrade reaction) been recommended by the soil report?
- 40. Details 7/SD3-2.3 and 11/SD3-2.3, there is no positive connection between the existing and new footing concretes. These details are not suitable for shear and bending stresses. Review and revise the details accordingly.
- 41. There are discrepancies between the existing record set plans information and this submittal set of plans in various areas such as, footings, columns, basement wall and concrete deck reinforcements, etc. Please verify if the design data has been extracted from the final (recorded set) of plans.
- 42. Revise corrections marked red on the submitted plans.
- 43. Provide a sequence of demolition, construction, shoring plans and calculations for this project to maintain the original structural integrity of the building during daily operation.
- 44. The CAL-ARTS theater inside the existing parking garage structure creates vertical structural irregularities as described in Table 16-L of the UBC, which requires dynamic analysis per UBC 1627.8.3. Provide calculations.
- 45. Column enlargement details 13/SD3-2.2, 14/SD3-2.2 & 15/SD3-2.2 do not show positive binding between existing and new column concretes, except surficial friction. The effect of concrete shrinkage and creep of the new concrete shall be considered in design for uniform load distribution on enlarged column section, in order to prevent cracks and delamination on column surface. Please review and revise the details accordingly.
- 46. Lateral load design of the CAL-ARTS structure is performed conventionally with no amplification from the parking structure. Clarification is required.
- 47. Additional corrections may be forthcoming when new information is reviewed.

Ed Alexanians

2/4/99

Checked By

Date

Central

(626) 458-6374

Office

Phone No.

Recheck and Approved By

Date

Corrections as indicated will be complied with

Signature of Owner or Applicant

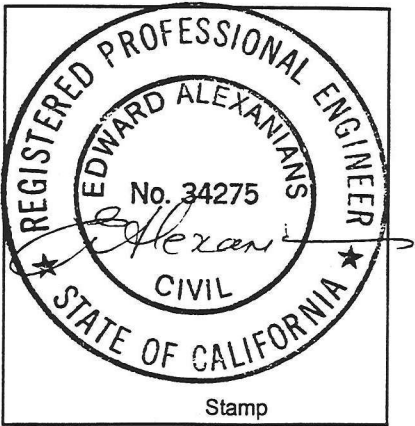


EXHIBIT E

CONTRACTOR'S CLARIFICATIONS, QUALIFICATIONS AND EXCEPTIONS

Qualifications

1. Existing crack repairs will be completed by Mortenson under a separate contract with WDCH I after CalArts core and shell construction is complete.
2. Garage will remain closed to public use during CalArts core and shell construction.
3. Parking will be provided at no cost to Mortenson and its subcontractors in the existing Concert Hall Garage or within close proximity of project and therefore this proposal excludes all costs for parking.
4. All existing equipment and systems shall be either shutdown or maintained and restarted by others. Mortenson to provide protection and supplemental maintenance for equipment used by it and its subcontractors' forces during CalArts construction work. Responsibilities to be pursuant to the Parking Garage Closure and Utilization Plan - Amendment # 1 dated July 16, 1999.
5. Cost for building, electrical, mechanical, plumbing, sprinkler, and AQMD permits to be provided by others. Costs of all permits for design build portions of the work are expressly included in this proposal. CalArts and WDCH I will assist in obtaining waivers or reduction of any such permits costs.
6. In the event that the chilled water for the Walt Disney Concert Hall and related facilities is supplied by Sempra Energy Systems, or other service provider, in lieu of the currently designed central plant, CalArts shall recover all cost savings so associated with the CalArts work.
7. All tests and inspections by others; except those specified to be provided by the contractor.
8. The Garage closure is scheduled for 12 months. Mortenson has calculated the General Conditions and Garage Closure costs for this period with allocation of total costs as follows:

	<u>Garage Closure Cost</u>	<u>General Conditions Cost</u>
CalArts	33.33%	48%
Concert Hall	33.33%	15%
Remedial	33.33%	37%
9. The power consumption cost during Garage Closure has been established as \$60,000 and is treated as an Allowance.
10. Mortenson is provided use of all existing utilities. Power consumption during garage closure to be prorated per item No. 8 above. Power consumption during garage utilization to be separately metered from existing source. County to be reimbursed by Mortenson in both cases.
11. Remedial work will precede and subsequently be performed concurrent with demolition, CalArts construction, and Concert Hall upgrade.
12. This Agreement is based on the documents as identified in Exhibit "A" attached hereto.
13. Existing condition survey has been completed by an independent service employed by Mortenson and accepted by CalArts, WDCH I and the County. This cost is to be shared with the remedial work.
14. This Agreement is predicated on Mortenson receiving a contract to perform both the CalArts and Walt Disney Concert Hall construction.

15. Mortenson does not have responsibility for the design of the existing Concert Hall parking garage, remedial work design or structural design for the construction of CalArts. Furthermore, Mortenson is performing remedial work under a separate contract with WDCH I to rectify certain alleged inadequacies in the design or construction of the existing garage. Therefore, Mortenson cannot be responsible for any structural failures or damage that occurs during or after completion of the CalArts demolition and construction work which are directly attributable to said alleged inadequacies. We further exclude any warranties and/or guarantees, implied or otherwise as related to existing structure, equipment, systems, etc.
16. This Agreement is based on receipt of the core and shell permit and full notice to proceed no later than November 15, 1999.
17. This Agreement is based on Mortenson's Cal Arts & Remedial - Shoring Demolition & Reconstruction Sequence plan prepared and submitted on August 4, 1999.
18. This Agreement is based on Mortenson's Parking Garage Closure and Utilization plan as submitted June 15, 1999 and Amendment # 1 dated July 16, 1999.
19. Due to the integration required between the Walt Disney Concert Hall and CalArts Theater fire alarm and temperature control systems, it is assumed that the same subcontractor for this work will be utilized for both projects.
20. The 500 kW generator indicated on the contract documents is allocated 25% to this project.
21. This Agreement includes one half of costs associated with 8" topping slab at the zero slab level. Remaining costs to be allocated to WDCH I.
22. This Agreement includes allowances for identification; relocation and/or repair of existing embed conduits.
23. CalArts will cause limited AutoCadd files to be provided by Architect at no cost, subject to reasonable disclaimer from Architect, for the sole purpose of preparing certain shop drawings related to the CalArts project.
24. This Agreement is based upon use of HDO Plywood in lieu of Finnform.
25. This Agreement is based on all CalArts column upgrades (jacketing only) being shotcrete and not cast-in-place concrete. Mortenson shall bear the cost and responsibility to demonstrate proficiency in obtaining proper concrete placement.
26. This Agreement does not include any cost to use "control de-tensioning" for uniform tendons at Level -13 between lines A to B and 3 to 5. De-tensioning and re-tensioning will be performed in accordance with the engineered post-tensioned reinforcement plans which are subject to review and approval by the County.
27. This Agreement excludes Elastomeric waterproofing in rooms P343 and P233.
28. Structural isolation bearings per Frank O. Gehry & Associates' "preliminary" design dated September 15, 1999. CalArts will cause Architect to provide final bearing and structural design.
29. For structural steel shop welded joints that require weld metal to meet Charpy V notch toughness standards, 3/32" Lincoln OS70 (E70T-1) welding wire will be used. Mortenson shall be responsible for obtaining the Architect's, Structural Engineer's and County's approval of this electrode.
30. Certification of conformance to the Charpy V-notch toughness requirements for weld filler metal will be determined at the point of manufacture.

31. This Agreement is based upon Lamping Bridges supplied by J. R. Clancy, an alternate manufacturer approved by CalArts and the Architect.

32. Fire sprinkler piping will not have separate floor controls. However, within the theater, the piping will be exposed, painted to match the ceiling above, and have special provisions for acoustical isolation where it penetrates the acoustical envelope of the theater. No fire protection coverage is included in crawl spaces or in attic spaces above ceilings.

33. No fire sprinkler hose valves or cabinets are shown. However, the fire protection system is an element of the work for which Mortenson is providing design build services and all code required hose valves and cabinets, if any, are expressly included.

34. The following are elements for which Mortenson is providing design build services;

- A. Section 07480 – Exterior Metal Panel Assemblies
- B. Section 08900 – Custom Glazed Metal Assemblies
- C. Section 15501 – Fire Protection
- D. Section 16700 – Telephone and Security Systems
- E. Section 16720 – Security Systems
- F. Section 16722 – Fire Alarm Systems
- G. Section 16724 - CCTV Systems

H. Elements of the work for which Mortenson is providing engineered submittals in accordance with the specifications;

- i. Section 05400 – Light Gage Metal Framing
- ii. Section 05510 – Steel Stairs
- iii. Section 05521 – Pipe and Tube Railings
- iv. Section 05700 – Ornamental Metals
- v. Section 08400 – Aluminum Storefronts and Windows
- vi. Section 09220 – Lath and Portland Cement Plaster
- vii. Division 15 & 16 – Mechanical, Electrical and Plumbing Equipment Support and Anchorage

35. This Agreement includes an allowance for the Performance Audio Systems (Section 17000).

36. This Agreement includes Stage, House and Lobby Dimming Systems. Theatrical lighting instruments are to be provided and installed by CalArts.

37. An allowance has been established to provide for x-ray documentation of concealed conduits, post-tensioned cables and reinforcing steel elements in certain areas of the existing structure.

38. Mortenson to provide insurance as set forth in Contract Agreement, all other insurance, including Builders Risk, is by California Institute of the Arts.

39. This Agreement includes the complete electrical systems delineated on the CalArts Clarification Issue, dated September 16, 1999 (See Exhibit "A" for complete list of documents) which more specifically includes;

- A. 1600Amp 480/277V, 3Æ, 4W Service and Bus Duct.
- B. Transformer "CTB" (300Amp, 480-208/120V, 3Æ, 4W) serving Distribution Panel "CLPA".
- C. Surge Protection ("MP").
- D. The use ½" minimum conduit in lieu of the specified ¾" minimum conduit, subject to approval by Los Angeles County.

40. This Agreement includes the use of Hunter Douglas 24"x24", 0.032" thick, aluminum metal tile ceiling (pattern 103) back-loaded with 1" thick black-faced acoustical insulation in lieu of the specified perforated stainless steel ceiling panels (AF-10).

41. This Agreement includes one (1) public telephone enclosure in the Lobby and one (1) in the Green Room.

42. This Agreement includes 116 Dual 2.4kw Dimmer Modules in the Stage Dimmer Racks in lieu of the specified 162 Dual 2.4kw Dimmer Modules.

43. This Agreement includes a deductive adjustment of \$72,000 for Column Capitol work, which would be part of the Garage Remedial Work if CalArts Theaters did not proceed and is based on receipt of this amount from WDCH I.

Allowances

The following items have been established as construction allowances. A change to the contract would be required should these amounts be exceeded.

Garage Closure Power Cost	\$ 60,000
X-Ray	\$ 74,266
Performance Audio System	\$133,380
Concealed Electrical Demolition Repairs	\$ 30,000
DWP Vault Relocation in 2nd Street Sidewalk	\$ 10,014
60 ea. - SP-8 Light Fixture (per note on E3-2.24)	\$ 15,000

Exclusions

The following are excluded from this Agreement.

- 1. Parking Costs.
- 2. Testing and Inspection (except those specified to be provided by the Contractor).

3. Permit Fees (except for those elements for which the Contractor is providing design build services).
4. Construction Site Offices for Los Angeles County, including trailer rental, move-in, set-up, electrical hook-up, power and utility consumption, plumbing hook-up and move-out.
5. Elastomeric Waterproofing in Room Nos. P343 and P233.
6. Design and Engineering of Bonded Rubber Isolation Bearings - Section 13085 (furnishing and installation is expressly included).
7. Performance Lighting Instruments.
8. Theater Rigging Motors and Rigging Motor Control Center (conduit and back-boxes are included)
9. The following Theater Machinery and Equipment;:
 - A. Theater Seating and Seating Wagons
 - B. Stage Floor
 - C. Film & Video Audio System (conduit and back-boxes are included)
 - D. Film & Video Projection Systems
 - E. Projection Screen Masking (projection screen is included)
 - F. Stage Draperies
 - G. Line-Shaft Winches and Battens
 - H. Chain Hoist and Lighting Trusses
10. Millwork on Theater Ceiling (above lamping bridges).
11. Curved Wood Sound Baffle at upstage wall.
12. Plywood Veneer Panel (1/4" thick) on Theater Hinged Wall Panels.
13. Light-Proof Shades at Control Rooms.
14. Garage Remedial Work.
15. Concert Hall Garage Upgrade Work.
16. Walt Disney Concert Hall Work.